

The Vistas at Walking Stick



DESIGN GUIDELINES

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COMMUNITY VISION

LOCATION

The Vistas at Walking Stick is located within the City of Pueblo and is zoned for a mix of 113 residential units. The surrounding developments are Walking Stick Estates to the southwest, Walking Stick Golf Course and CSU to the south, and University Hills and University Park Subdivision to the west. Property to the north and east is privately held, within Pueblo County, and undeveloped.

VISION

The vision for The Vistas at Walking Stick Community is to create cohesive and sustainable neighborhood atmosphere of quality homes, pedestrian friendly site design, and diverse residential products for a variety of lifestyles. The goals are as follows:

- To complement the existing landscape,
- To promote a variety of residential densities, home types and associated lifestyles,
- To provide convenient recreational amenities for both passive and active uses,
- To promote creative site planning, architecture, pedestrian and vehicular circulation, landscape architecture and overall community design.

Several different building types and uses are proposed within The Vistas at Walking Stick defined as follows:

- Single Family Attached
- Single Family Detached
- Multifamily
- Office
- Commercial/Retail
- Mixed Use

SITE DESIGN

Set Back Requirements

All building and site planning standards, setbacks, and other site development standards must conform to The Walking Stick Vista PUD standards as well as these design and building guidelines. Setbacks vary according to the size of the lot and therefore, the PUD should be carefully studied.

Grading

Every effort should be made to maintain graded contours of the building lot. In certain conditions it may be necessary to re-grade the lot to accommodate a residential unit. Furthermore, all proposed landscape retaining walls shall require the review and approval of the DRC. As much as practical, the builder should integrate the structural design of the residence into the contour of the land in order to avoid excessive fill slopes or severe cut slopes.

A grading plan will be required as part of the DRC review submittal. Emphasis will be placed on the proposed architectural design and site plan. Excessive grading, retaining walls, and site disturbance will be discouraged. Builders and/or homeowner are responsible for the storm water and drainage plan.

SOILS

Expansive soils and/or other conditions may exist on some or all of the lots within The Vistas at Walking Stick subdivision. Since Vista Development hasn't obtained any soil reports for any lots, the buyer is responsible to obtain a comprehensive soils test for their specific lot. The Buyer acknowledges that Vista Development has made no representations or warranties concerning the condition of soils on the lot.

Building Envelopes

Building envelopes are not defined on individual lots, rather suitable sites shall be determined according to the specific conditions and topography of each lot. The proposed building envelope shall be submitted as part of the grading plan.

Lots Adjacent to Open Space & Common Areas

Special consideration needs to be provided for all lots adjacent to open space and common areas. The DRC shall review and determine whether the proposed residential layout and design detracts, encroaches, or disturbs these special areas. The architectural design, site plan, proposed fencing and landscape plan for lots adjacent to these areas should appear to be complementary to the natural topography, vegetation, views, trails, and open space. Fences for yards which abut a public thoroughfare, green space or trail corridor shall be designed with fencing materials of open iron pickets spaced at intervals to allow view corridors into the public space. Columns may be spaced at appropriate intervals and shall be constructed of sturdy materials like stucco, stone, or masonry.

In certain cases, and at their sole discretion, the developer may install safety walls, landscaping, steps, signage, fencing and other features to alert the public regarding items, such as drainage areas, easements, trails, wetlands, wildlife areas and other hazards that may occur within the common areas.

Private Driveways & Sidewalks

Driveways and walkways leading from the public sidewalk or street to the home shall be composed of the following materials: concrete, patterned concrete, interlocking pavers, brick, permanent stone finishes, and other finishes as approved by the DRC. The materials should be monochromatic and in the same color palette as the home. Patterns and borders should not be excessive or have detailed symbols that attract attention away from the home. Entrance to Driveways shall have a maximum of 30 feet of curb frontage.

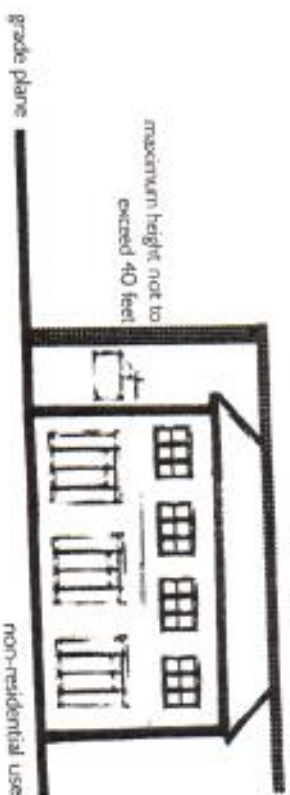
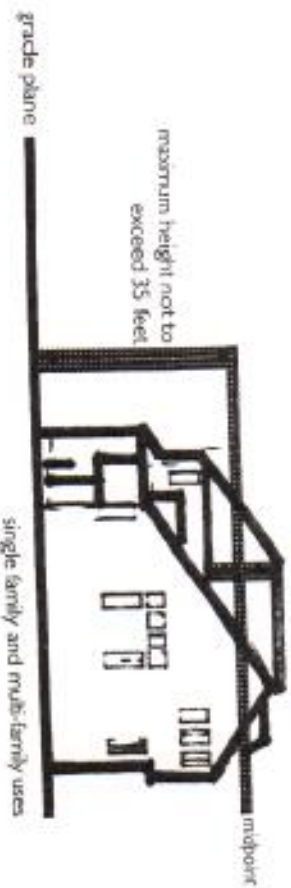
Size Requirements of Homes

All homes must have a minimum of 1,650 square feet on the main level. Homes with multiple stories may have a minimum square footage of 1,500 on the main level if the overall square footage meets a 2,500 above ground minimum. Variances may be granted under special circumstances, such as setback requirements on certain lots.

Building Height

Building height is defined as the vertical distance from the grade plane to the average height of the highest roof surface. As applied to flat roofs, height is measured as the vertical distance from the mean level of the finished grade of the front of the building to the highest point on the finished roof. For a pitched roof, it is measured from the mean level of the finished grade of the front of the building to the average height of the rise of the pitched roof.

Building height shall be measured from existing, pre-development grades or proposed grades (whichever is lower) and shall not exceed thirty-five feet (35') for single-family detached, single family attached, and multiple family residential products and forty feet (40') for all other uses.





Mailboxes

One mailbox per residence is required. All mailboxes should be made out of stucco, stone, masonry and should match the exterior of the home in design and color. All mailboxes should be set on a cement slab.

The finished size of the mailboxes should have a minimum width of 20" and a maximum of 30" including finish materials. The minimum depth should be 24" with a maximum depth of 32" including finish materials. The minimum height should be 50" with a maximum height of 64" including finish materials.

The bottom of the inserted mailbox should be between 36-42" from the curb. Mailboxes may have a flat, arched or pitched top and finished with stucco, stone or brick. Flat mailboxes need to have a flagstone, stone or brick cap. House numbers should be mounted to the mailbox and may be located on the front or side of the mailbox. No flag should be mounted to the exterior of the mailbox. Post office approved mailbox inserts are to be mounted inside the mailbox structure. Mailboxes should face the street with the insert.

Parking Standards

All vehicles must be parked in accordance with these parking standards. Vehicles in violation will be considered in violation and subject to the enforcement authority of the DRC.

Any vehicle falling into one or more of the following classifications shall be deemed to be in violation of these design and building guidelines:

- a) A vehicle that could cause or be classified as a safety hazard;
- b) A vehicle parked within a lot owner's property that is not in a designated driveway or garage;
- c) Any vehicle parked in a side setback;
- d) The parking of a commercial or recreational vehicle without the express written permission of the DRC. For the purpose of this standard, commercial vehicles include any vehicle used as a Taxi, Taxi Cab, or Car for Hire, and any vehicle displaying commercial lettering or advertisements, or which are patently used for commercial purposes (i.e. vehicles having ladder racks, tool storage compartments, or other apparatus not customary to standard four-wheel passenger automobiles). For the purpose of this standard, recreation vehicles are defined as a boat or boat trailer, any type of trailer, any motor home or other self-contained camper, motor home trailer or fifth wheel trailer, any camper slip-ons not mounted on the vehicle, any pop-up camp/tent trailer or other similar recreational oriented portable or transportable facility or conveyance, commercial and/or private or public school or church vehicles (including automobiles, trucks, or buses), and any vehicle which could not normally or regularly be used for daily transportation, including dune buggies, non-operative automobile collections or other automotive equipment not licensed for use in Colorado. Recreational vehicles may be temporarily parked for the purpose of loading and unloading for a maximum of three nights. Otherwise, the parking of RVs shall not be allowed in The Vistas at Walking Stick.
- e) Any vehicle not displaying or not bearing the appropriate licenses, stickers, decals, or permits for operation on streets or highways of the State of Colorado is prohibited.
- f) No vehicles shall park in a NO PARKING zone or in a Fire Lane as designated by the Fire department or Board of its Designee(s) on the common area parking areas and/or the private streets;

- g) Any vehicle that qualifies as “abandoned” under these guidelines. The DRC defines “abandoned vehicles” for the purpose of these guidelines as any vehicle satisfying one or more of the following conditions:
1. A vehicle that is not legally registered and/or inspected by a state and/or other jurisdiction;
 2. A vehicle that is in a state of disrepair or which is inoperable in its current condition and which is not, will not or cannot be made operable within any twenty-four (24) hour period, and/or;
 3. A vehicle not maintained in proper operating condition (proper operating condition means a vehicle which, in its current state, is capable of operation on the roadways of the State of Colorado and which does not create a hazard or nuisance by noise, appearance, exhaust or fluid emissions).
- h) No exterior repair, restoration or maintenance of any vehicle on privately owned or Common Areas. Minor emergency maintenance (excluding fluid changes and other action that may soil or impact on the common areas), and normal cleaning may be permitted, within the DRC discretion, provided there is no damage to or soiling of the common areas and no obstruction of the common areas.

ARCHITECTURE

Objective

Single family detached and attached homes shall express a creative presentation of exterior building materials, exterior details and texture, treatment of windows and doors, and use of angles and multiplicity of planes within the wall and roof design.

Builder Selection

Builders and developers will be selected by Vista Development based on criteria that will ensure compatible and high quality design. All builders must be willing to follow the Design Guidelines, PUD, and Covenants. Builders should also be respectful of current residents.

Architectural Style

Many architectural styles are permitted as long as each house has key architectural elements and use of materials addressed to the satisfaction of the Design Review Committee (DRC).

Single-Family Detached Homes

It is the intent of these guidelines to provide direction for the thoughtful design and construction of The Vistas at Walking Stick. By using these guidelines, the community enhances and secures its quality of life, property values, and visual effectiveness.

The architectures and planning of this community is bound within a unique semi-arid environment, and it is intended that design be sensitive and responsible to this environment, as well as embrace the design vision outlined in this document.

The Vistas at Walking Stick is committed to achieving the highest practical quality and design of the built environment through their relationship with knowledgeable property owners, builders and architects in a spirit of cooperation and common goals of community and quality.

All parties should understand the subjective nature of architectural review and be attentive to the vision and intent of The Vistas at Walking Stick. All homes must conform to the Architectural Guidelines outlined within this document.

Important Design Elements

- Traditional gable and hip roof forms;
- roof variety using varied ridge heights and roof plane changes;
- varied wall planes;
- neutralize garage door prominence in overall design on street loaded drives;
- recognizable sense of entrance;
- asymmetrical design verses symmetrical design;
- neutral color palettes
- approved material palettes;
- landscape design emphasis;
- decreased emphasis on the thematic design of another historical era or vernacular style;
- achieving a common goal of visually connecting the neighborhood yet providing variety and vitality.

Design Recommendations

The use of manufactured or modular housing is prohibited. Individually-designed residences with site-specific design solutions are required at VWS. All designs will be reviewed on their merit and conformance.

This guideline considers each home at VWS a **one-of-a-kind** residence that responds to its individual site and location and the spirit of the design guidelines.

It is recommended that property owners and builders use the services of licensed or affiliated professionals familiar with residential design and construction; architects, engineers, contractors, landscape architects and planners.

Scale and Massing

The building form as defined by mass, scale, and detail should step with the natural undisturbed terrain and fit comfortable on the site.

Avoid box-like design, repetitive design, and garage dominated design.

Form, detail, or finish that appears to lack substance is discouraged. Plant-on "decorative" elements are not acceptable.

One and two story structures are strongly encouraged. Structures with living space in the roof areas complete with dormers, such as 1-1/2 story homes, are acceptable.

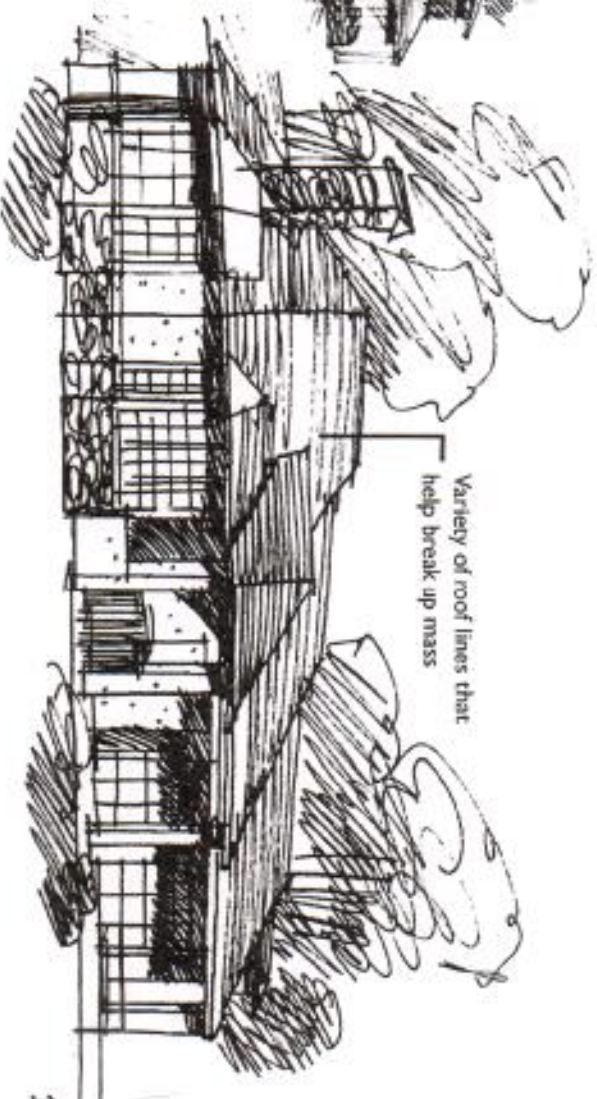
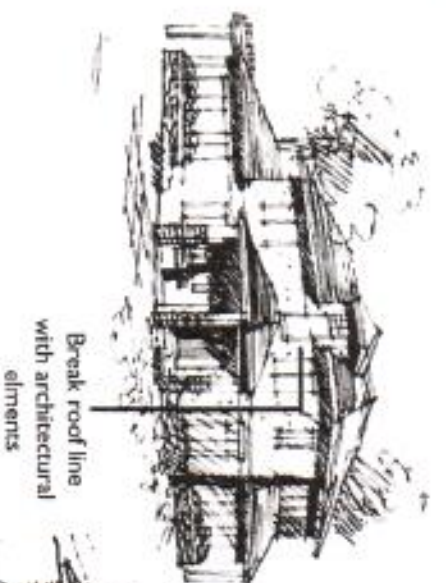
A variety of roof line and building elevations is required.

Recessed and projecting design elements (bays, covered entries, chimneys, roof projections, porches, etc.) should be used to break up the building elevations and provide visual interest, depth, shade and shadow.

Large columns are better than small supports for scale, detail, and expression of structure.

Efforts to vary the garage presentation and street orientation are encouraged.

Large, flat, unbroken planes should be avoided on roof and walls.



Street Rhythm

Rhythm is defined by the relationship of buildings to open space along the street, the relationship of solids to voids on the building facades, and the relationship of entrance and porch projections to the street.

In order to enhance the visual interest and pedestrian scale of the street, structures should vary in rhythm to include a blend of vertical and horizontal emphasis. Variation in the front setbacks of building components and articulation in roof heights are examples of ways to accomplish this.

Building Materials

Primary building materials shall be stucco (whether synthetic or real) brick, or stone. Other materials may be used as an accent and must be approved by the DRC. It is preferred that a combination of finishes be used and the accent material be incorporated at least partially on the sides and not end on the front corners. Homes where accent materials are not on the outside edge of the front of the home do not need to incorporate that material on the sides of the home. Wood or composite shutters are acceptable.

Materials & Colors

Sturdy materials and earth-toned colors, non-bright shall be used.

As a general rule, subdued color in earth tone ranges (browns, greens, rust) are acceptable.

Trim color may be used to accent doors, garage door, window sash, roof fascia, window, and door trim.

Deck color must be coordinated with entire design.

High contrast coloration is discouraged.

Subtle color relationships are encouraged, but accent colors are acceptable, subject to review and approval.

Garages

Garages should be secondary to the home. The following styles of garages are acceptable:

- **Shallow Recessed Garage**
Placing the house in front of the garage thus reducing the visual impact of the garage.
- **Deep Recessed Garage**
Pushing the garage toward the rear of the lot.
- **Side Load Garage**
Side load garages provide a break in a continuous view of garage doors facing the street. The swing-in garage must be on wider lots to ensure adequate backup space is provided. The side elevation of the garage facing the street must incorporate windows that match windows on the house.
- **Tandem Garage**
A three-car functional garage can be achieved without the dominance of the garage by concealing one garage behind a standard two-car garage.
- **Split Garage**
Splitting three-car garages into a two-car garage and a single car garage, or three single car garages and attaching them to different parts of the home.
- **Front Loading Garages**
Garages that load from the front of the home can only be a maximum of 12' in front of the home or substantial front porch. Three-car garages must be split into a two-car and single car or three single car garages.

Generally, garages should be attached to the home unless a variance is granted from the DRC. Under no condition will a detached garage be allowed on an adjacent lot, even if the lot is purchased after the home is constructed. Garages should incorporate architectural details with the use of windows, doors and other façade detailing to integrate into the house and to minimize its presence on the street. All garages visible from the front of the home need to be decorative such as carriage style doors, windows and other garage door detailing. The DRC reserves the right to require upgraded garage doors if your façade detailing selection is unsatisfactory. Garages that are accessed thru the rear alley are not required to have façade detailing.

Site Conformance

Recreational vehicles, boats, ATVs and trailers must be stored outside the VWS community or enclosed within a garage.

Dog runs shall be integral and a part of the overall design and should be behind the home. If a dog run is on the side of the home, it will require a variance and must be concealed behind a privacy wall of 6 feet or less, as designated in the wall enclosure around decks and patios section of this document. No chain link, cyclone or wire fencing will be allowed for a dog run. The dog run must conform to the fencing standard or the walled deck and patio standard.

A homeowner may have a small Satellite dish mounted to the exterior back portion of their home without written consent. Any Satellite dish located on the side or front of the home must be approved by the DRC.

Yard sculpture and art, wind whirligigs, and other ancillary elements are allowed with VWS DRC approval.

Antennas are not acceptable.

Play equipment, hot tubs and other amenities are only allowed behind the house or inside of an enclosed courtyard or patio.

Accessory Structures

Carports or carport-style structures are not acceptable.

Storage sheds are not acceptable. Tarpaulin-covered storage is not acceptable. Stored items in general are not acceptable on the property except when completely contained within the garage.

Roof

Strong and simple residential forms shall be combined to create visual interest.

Stepped down or stepped back roofs are required.

Flat roofs (low sloped) as a minor element may be used to link together major acceptable forms.

Flashing, vents, and roof penetrations must be organized, gathered, and painted to neutralize the visual effect.

Roof slopes shall be generally 5/12 or 6/12. Roof slopes lower than 5/12 or steeper than 6/12 are subject to approval by the VWS DRC.

Recommended soffit materials include wood board, fiber cement, or other materials as approved by the VWS DRC.

Exposed rafter tails are acceptable.

Roof overhangs shall be a minimum of 18" unless otherwise approved. 24" overhangs are preferred. (Measured from face of wall to plane of fascia).

For all blocks within the Walking Stick Vista, Filing number 1 with the exception of Blocks 7 and 11:

- Acceptable roof materials include clay tile, concrete tile, stone-coated steel, or architectural grade composition shingles.
- Metal roofs, with the exception of decorative copper roofs or color finished metal used as an accent only, will not be approved by the Vista Development.
- Wood Shingles are not acceptable.

For blocks 7 and 11 within the Walking Stick Vista, Filing number 1:

- Acceptable roof material include clay tile or composite clay tile.
- Metal roofs, with the exception of decorative copper roofs or color finished metal used as an **accent only**, will not be approved by the Vista Development.
- Wood Shingles are not acceptable.

Dormers shall be gable, hip and shed in form, as dictated by the overall design.

All fireplace flues will be finished with an architectural sheet metal cap or equal. Fireplace flues shall be enclosed and expressed as a part of the overall design.

All energy-saving solar panels, photovoltaics, air conditioners, mechanical and other energy-related devices are subject to approval.

Decks & Patios

Material used for decks, patios, and other hard landscape surfaces should be consistent with the materials and colors of the residence and other site improvements.

Horizontal and vertical railings and balusters must be a part of the overall design.

Supports for decks should be an architectural extension of the home and incorporate the materials and colors of the residence. Supporting elements should be minimized and large in scale.

Patios may be concrete, flagstone, grass or pavers.

Wall Enclosures around Decks & Patios

Wall enclosures around patio area and dog runs are acceptable. These enclosures should match the exterior of the home and be under six feet in height. Lighting on top of enclosures may be allowed on a case by case basis. Enclosures may be made of stucco, masonry, or stone. These walls should be included on the plans submitted to the DRC for approval. Walled areas cannot encompass the entire rear yard, and are not to be considered as fencing.

Fencing

Fencing that abuts the Walking Stick Golf Course require columns along with black iron pickets. Other fencing not connected to the golf course may be comprised of 100% open black iron pickets or the combination of black iron pickets and columns spaced at intervals to allow view corridors. Columns should be constructed with stucco, stone or masonry that matches the color and style of the exterior of the home. Ideally a consistent fence design with your neighbors on your block would be most preferable. If the block has the same fencing, color variation from your home is allowed.

Fencing must be under the maximum of six feet in height, although three to four feet is preferred. Columns, including finishes, must be under seven feet. Width and depth of columns should be between 12" and 24".

Enclosed backyard fencing is allowed, however, it must not intruded beyond the back of the home. Variances will be necessary for any fencing of the side yards. No privacy fencing is allowed, however provisions for walls around patios and dog runs are allowed.

All open iron pickets are to be black in color.

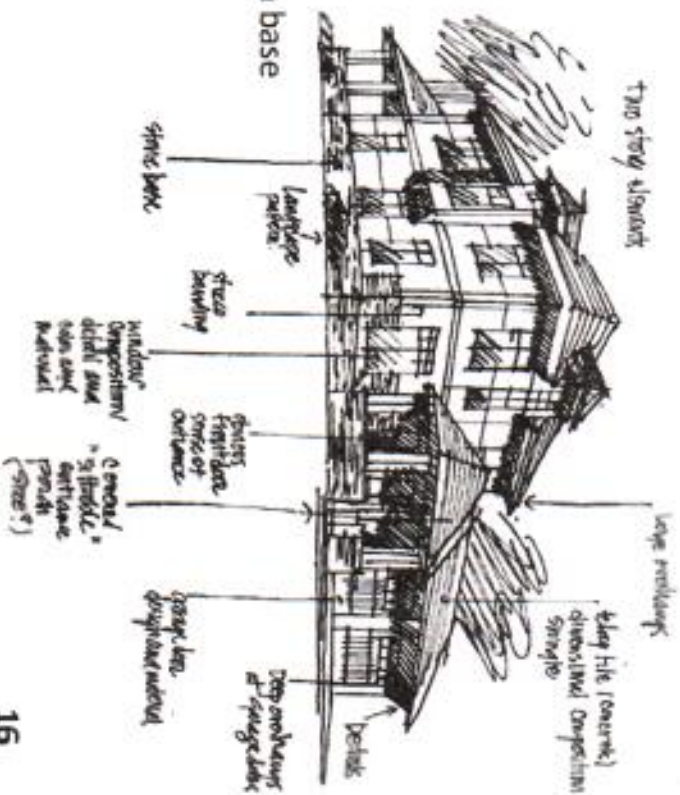
Walls: Siding

The following materials are acceptable:

- Brick
- Architectural concrete
- Stucco or synthetic stucco
- Stone as an accent and applied as a stone base or column base

The following materials are not acceptable:

- Plywood (including T-1-11)



- Ferro cement
- Angled siding
- Regular block
- Synthetic or metal extruded siding
- Concrete
- Vinyl Siding

Stone veneer is encouraged using the muted color of Colorado stone varieties. Authentic, locally quarried stone is preferred, but manmade stone is also acceptable. Specified color, size, arrangement and mortar joints for stone must be reviewed. Care is required in terminating materials, including stone, at inside corners and turning around exterior corners.

Dry stack stone appearance is preferred.

Wall vents are subject to review. Simple, visually-integral vents are encouraged with finish to match the wall.

Large unbroken wall planes of single material should be avoided. Exterior utility meters should be screened from view with enclosures or landscaping materials.

Walls: Windows & Doors

Window proportion, arrangement and size are subject to review by the VWS DRC.

With regard to window shapes:

- Square or rectangular shapes are preferred, however arched windows are allowed.
- Stained glass will be considered on a case-by-case basis and is subject to approval by the VWS DRC.

Garage doors must be of appropriate character, material and detail to complement the overall design. Facade detailing is required on all garage doors that are visible from the front of the home.

LANDSCAPE DESIGN

Intent & Concept

The landscape plans for The Vistas at Walking Stick should be simple, providing a high quality appearance, which harmonizes with the surrounding architecture. Special attention should be paid to earth forms, site drainage, plant forms and placement, hardscape materials and ground plane treatments.

It will be necessary for all plans to address soil types and climate. It is also the intent to promote low water use plant material, which is reflected in the chosen plant palette.

Overall Grading & Drainage Requirement

All grading shall gradually transition into existing slopes. No final grading shall extend beyond existing lot lines or designated building envelopes, unless by special approval of the VWS DRC.

All landscape plans shall be prepared so that all plant material is clearly identified by common name, botanical name, size, spacing, quantity and special planting notation, as required.

Landscape Features

A detail of the following features must be submitted with the Landscape Plan and approved by the VWS DRC prior to installation:

- Fence
- Walls
- Structures
- Pools, hot tubs
- Play Equipment
- Court Areas

Retaining Walls

Overall exposed height of retention and/or terraced walls shall be limited.

Signage

The number, location and design of all subdivision signage must comply with the approved PUD for The Vistas at Walking Stick and all applicable zoning regulations.

Residential address signage should be located in a manner to be visible from the street. All applicable regulations pertaining to size, location, and visibility standards must be met. No person shall paint or otherwise place address numbers upon streets, gutters, or curbs, unless requested by the City of Pueblo for public safety. Temporary signs, as defined and permitted per current Zoning Ordinance requirements, must comply with all regulations related to location, size, and time duration on the property.



Suggested Plant List

Trees

Botanical Name	Common Name	Design Use	Water Requirements	Native
<i>Acer grandidentatum</i>	Bigtooth Maple	Screening/Streetcape	<input type="checkbox"/>	●
<i>Catalpa speciosa</i>	Western Catalpa	Shade/Parks	<input checked="" type="checkbox"/>	
<i>Celtis reticulata</i>	Nected Hackberry	Shade	<input checked="" type="checkbox"/>	●
<i>Celtis occidentalis</i>	Hackberry	Streetcape/Shade	<input checked="" type="checkbox"/>	●
<i>Fraxinus pennsylvanica</i>	Green Ash	Limited Use Streetcape	<input checked="" type="checkbox"/>	
<i>Fraxinus americana</i>	White Ash	Limited Use Streetcape	<input checked="" type="checkbox"/>	
<i>Gleditsia triacanthos 'inermis'</i>	Honeylocust	Streetcape/Shade	<input type="checkbox"/>	
<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	Shade /Parks	<input type="checkbox"/>	
<i>Juniperus scopulorum</i>	Rocky Mountain Juniper	Screening	<input checked="" type="checkbox"/>	●
<i>Juniperus virginiana</i>	Red Cedar	Screening	<input checked="" type="checkbox"/>	
<i>Malus species</i>	Apple	Shade	<input checked="" type="checkbox"/>	
<i>Morus rubra</i>	Red Mulberry	Shade	<input checked="" type="checkbox"/>	
<i>Picea pungens</i>	Colorado Blue Spruce	Screening	<input checked="" type="checkbox"/>	●
<i>Pinus edulis</i>	Pinyon Pine	Screening	<input type="checkbox"/>	●
<i>Pinus flexilis</i>	Limber Pine	Screening	<input checked="" type="checkbox"/>	●
<i>Pinus ponderosa</i>	Ponderosa Pine	Screening	<input checked="" type="checkbox"/>	●
<i>Pinus sylvestris</i>	Scotch Pine	Screening	<input checked="" type="checkbox"/>	
<i>Platanus occidentalis</i>	Sycamore	Shade/Parks	<input checked="" type="checkbox"/>	
<i>Quercus macrocarpa</i>	Burr Oak	Streetcape	<input checked="" type="checkbox"/>	
<i>Quercus bicolor</i>	Swamp White Oak	Streetcape	<input checked="" type="checkbox"/>	
<i>Ulmus americana</i>	American Elm	Shade	<input checked="" type="checkbox"/>	
<i>Ulmus procera</i>	English Elm	Shade	<input checked="" type="checkbox"/>	

- xeric
- low
- low to moderate



Burr Oak



Pinyon Pine



Bigtooth Maple



Honeylocust

Shrubs

Botanical Name	Common Name	Design Use	Water Requirements	Native
<i>Amorpha fruticosa</i> 'angustifolia'	Leadplant	Grouped/Natural	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Arctophytos coloradoensis</i>	Panchito Manzanita	Groundcover	<input type="checkbox"/>	<input type="checkbox"/>
<i>Caryopteris clandonensis</i>	Blue Mist Spirea	Borders	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Ephedra nevadensis</i>	Mormon Tea	Screening	<input type="checkbox"/>	<input type="checkbox"/>
<i>Forestiera neomexicana</i>	New Mexico Privet	Screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Perovskia atriplicifolia</i>	Russian Sage	Grouped/Borders	<input type="checkbox"/>	<input type="checkbox"/>
<i>Phlomis russeliana</i>	Hardy Jerusalem Sage	Grouped/Borders	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Potentilla fruticosa</i> 'Cinquefoil'	Potentilla	Grouped/Borders	<input type="checkbox"/>	<input type="checkbox"/>
<i>Prunus besseyi</i>	Western Sand Cherry	Grouped/Borders	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Rhamnus smithii</i>	Smith Buckhorn	General/Adaptable	<input type="checkbox"/>	<input type="checkbox"/>
<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	General/Adaptable	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Rhus microphylla</i>	Little Leaf Sumac	General/Adaptable	<input type="checkbox"/>	<input type="checkbox"/>
<i>Ribes cereum</i>	Squaw Currant	Grouped/Borders	<input type="checkbox"/>	<input type="checkbox"/>
<i>Chrysothamnus viscidiflorus</i>	Rabbitbrush	Grouped/Borders	<input type="checkbox"/>	<input type="checkbox"/>
<i>Fendler rupicola</i>	Fendlerbush	Grouped/Borders	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Cercocarpus intricatus</i>	Littleleaf Mahogany	Grouped/Borders	<input checked="" type="checkbox"/>	<input type="checkbox"/>

xeric

low

low to moderate



.....

Perennials

Botanical Name	Common Name	Design Use	Water Requirements	Native
<i>Agastache species</i>	Hummingbird Mint	General	<input type="checkbox"/>	
<i>Agastache rupestris</i>	Sunset Hyssop	Focal Point	<input type="checkbox"/>	
<i>Alcea rosea</i>	Hollyhock	General	<input checked="" type="checkbox"/>	
<i>Anthemis biebersteiniana</i>	Filigree Daisy	Grouped/General	<input type="checkbox"/>	
<i>Artemisia species</i>	Artemisia	Grouped/General	<input type="checkbox"/>	●
<i>Cylindropuntia spinosior</i>	Walking Stick Cactus(Limit)	Focal Point	<input type="checkbox"/>	
<i>Echinacea species</i>	Coneflower	Grouped/General	<input type="checkbox"/>	●
<i>Echinocereus triglochidiatus</i>	Claret Cup Cactus	Focal Point	<input type="checkbox"/>	
<i>Erigeron species</i>	Showy Fleabane	Grouped/General	<input type="checkbox"/>	
<i>Helopsis helianthoides</i>	False Sunflower	Grouped/General	<input type="checkbox"/>	
<i>Heuchera species</i>	Coralbells	Focal Point	<input checked="" type="checkbox"/>	
<i>Hemerocallis species</i>	Daylily	Grouped/General	<input type="checkbox"/>	
<i>Kniphofya uvaria</i>	Torchlily	Grouped/General	<input type="checkbox"/>	
<i>Mirabilis multiflora</i>	Native Four O'Clock	Grouped/General	<input type="checkbox"/>	●
<i>Ratibida columnifera</i>	Prairie Coneflower	Grouped/General	<input type="checkbox"/>	●
<i>Yucca angustissima</i>	Narrowleaf Yucca	Focal Point	<input type="checkbox"/>	

- xeric
- low
- low to moderate



Sunset Hyssop



Native Four O'Clock



Prairie Coneflower



Torchlily

DESIGN REVIEW PROCESS

Homeowner Name:		
Lot:	Block:	
Date:		
Builder:		
Design Review Fee:		
\$250 below 2000 square feet, \$500 above 2000 square feet		
Elevations, site plan, and landscape need to be submitted along with examples or a chart of exterior finishes for roof and stucco materials.		
Builder	<u>Setbacks (See attached Chart)</u>	<u>D. Review</u>
	House meets setbacks for the left side of the home.	
	House meets setbacks for the right side of the home.	
	House meets setbacks for the rear of the home.	
	House meets setbacks for the front of the home.	
	Garage meets setbacks for the front facing the street.	
	Garage meets setbacks for the side of street.	
	<u>Driveways</u>	
	Driveway is setback 40' from a corner (If applicable for a corner lot,)	
	This applies to the curb cutout and is to insure safety in backing.	
	Driveway width is 30' or less at the curb cutout.	
	Driveway is made of concrete pavers, brick, etc. that match the design of the home. No Asphalt.	
	<u>Grading</u>	
	Contained within lot, drains corectly and is void of excessive grading.	
	Variances to this will be considered for retaining walls.	
	<u>Soils</u>	
	Foundation is in compliance with the engineering report.	
	Soils are expansive, and extra care should be taken.	

<u>Builder</u>	<u>Size of the Home</u>	<u>D. Review</u>
	Home meets the 1650 square feet minimum for a ranch or 2500 square feet for two story homes, with 1500 square feet of that being on the main floor.	
	<u>Building Heigth</u>	
	Less than 35' to the mean of the roofline. This is determined from predevelopment grade. Distance from grade plane to the average height of the highest roof surface.	
	<u>Mailbox</u>	
	Mailbox is made of stucco, stone or Brick and is one per residece.	
	The size as outlined on page 5 of the Design Guidelines.	
	Material proposed form Mailbox:	
	Size of Mailbox:	
	Stone cap if mail box is flat on the top in design:	
	Location of mailbox:	
	<u>Architecture</u>	
	Home is made of stucco, artificial stucco, stone, architectural concrete or brick.	
	Variance for small amounts of accent material such as wood for corbels, crown or exposed rafter tails.	
	Stucco Finish: Stucco Color:	
	Stone Choice:	
	Brick Choice:	
	Stone or brick application turns exterior corners or terminates into inside corners. Stone can terminate into stucco popouts or limestone caps.	
	<u>Builder</u>	
	Builder is Approved by Jim Gilberson, SJP LLC.	
	Name:	
	<u>Roof</u>	
	5/12 or 6/12 or approved if different. (Steeper pitches are acceptable)	
	Tile roof if lot is located in Block 7 or Block 11 (or city variance is granted.)	
	Neutral in Color. Approved Material:	
	Proposed Material:	

Builder	Variation in ridge, heights and has roof plane changes.	D. Review
<u>Semi-Custom or Custom Styling</u>		
One of a Kind Residence - with no repeats in the neighborhood (Exterior differs from a similar floorplan)		
<u>Massing and Scale</u>		
Home meets criteria as outlined on page 10 of Design Guidelines		
Concerns:		
<u>Garages</u>		
Style of Garage: recessed, side load garage, tandem, split or front loading		
Size of Garage: 2 or 3 car garages, 4 car garages must be split in two areas		
If Garage loads from the front of the lot, it does not extend more than 12 feet in front of one of the following: the home, portico or porch.		
Façade detailing is required for all garages not located on an alley.		
Façade detailing will be defined as hardware, windows, unique design, wood or faux wood detail. Only one of those items is required.		
Decorative items in stucco around garage may be considered for a variance if the garage door itself is plain.		
<u>Walls and Fencing</u>		
Walls for Courtyards/Dog Runs/Decks		
Height of proposed walls:		
Materials for Walls:		
Fencing is Black and composed of wrought iron, pig Iron or similar material.		
Columns may be added for fencing but are only required for homes on golf course . Columns may be added to any fencing in the neighborhood.		
No Privacy Fencing except for approved walls 6' or under.		
Fencing is under 6' in height.		
Fencing may have upto 3 feet of solid material on the bottom.		

Builder	<u>Decks and Patios</u>	D. Review
	Matches overall design of the home	
	<u>Windows</u>	
	Free from unapproved stain glass.	
	<u>Exterior Color Scheme</u>	
	Exterior Color Scheme for Eaves and gutters. (General colors will be accepted)	
	<u>Landscaping</u>	
	The city requires one shade tree between the sidewalk and the	
	curb for every 40' of lot. This will be determined by the lot width	
	less the opening for the driveway. Trees are taken from the city approved list.	
	Shade tree: _____ No. of Trees required:	
	For Example: Lot is 90' wide. Driveway is 26' $90' - 26' = 66'$ or 1.65 trees.	
	Portions over .5 are rounded up, so 2 trees are required, not closer than	
	30' apart. Spacing needs to be turned into Design Review, and approved	
	by the City's Landscaping Apartment before planting.	
	Grass must be present between the sidewalk and the curb, only minimal	
	rock or cement for paths are allowed in this easement.	
	One ornamental tree is required per home in the front yard. Placement is	
	at the owner's discretion. Landscaping rules are minimums and more trees are	
	allowed and encouraged.	
	Ornamental Tree:	
	Front Landscaping must be approved prior to receiving a C.O., and must	
	be completed within 12 months of a C.O. If the front yard is not complete	
	then minimal landscaping will be executed by the developer at the	
	homeowners expense. The Homeowner will be required to reimburse	
	the developer for sprinklers, plants, grass, trees and labor for completion	
	of this requirement.	
	The home may be started before landscape is determined, however,	
	landscape plans must be submitted to the developer at no extra cost.	

<u>Builder</u>	Proposed date to start building:	<u>D. Review</u>
	Concerns of Decorator, Developer or Landscaper:	

CONSTRUCTION

Procedures

For safety, orderly construction activity, and for the protection of residents, construction regulations will be strictly enforced.

These regulations shall be part of the construction contract document specifications for each home. Contractors and property owners are also responsible for abiding by all applicable construction regulations of the City of Pueblo.

A "Construction Area Plan" shall be provided showing size and location of construction material storage, limits of excavation, drive areas, parking, chemical toilet location, temporary structure (if any), dumpsters, storage of debris, fire extinguisher, utility trenching and construction sign.

During construction, proper soil stabilization, water control, and timely re-vegetation are required. Access to the property during construction will be as approved by VWS.

Temporary structures must be located on the owner's property and must be approved by VWS.

All signs on the site are subject to review and approval and shall be contained within a single 100 square foot area.

Construction period deposits will be returned at issuance of certificate of occupancy.

Construction Hours

Extended working hours from 6:30pm to 9:00pm shall be limited to a fully enclosed structure. No work will be allowed after 9:00pm on Saturday and Sunday. Holiday working hours shall be from 8:00am to 5:00pm.

Loud construction noise such as pneumatic hammers, electric saws, etc. are limited to the hours of 9:00am to 6:00pm.

Sanitary Facilities

Permanent water connection and temporary enclosed chemical toilets must be provided by the contractor/builder.

Trash Removal

Proper disposal of refuse and storage of material is the property owner's and contractor's responsibility. All construction areas shall always be kept free of unnecessary debris and litter.

Parking Regulations

All vehicles will be parked so as not to inhibit traffic or inconvenience neighbors or other builders. No construction vehicles can be left on the construction site during non-working hours.

Fencing

Construction shall be contained within a perimeter construction fence.

Fire

A minimum of one serviceable 1016 ABC-rated dry chemical fire extinguisher shall be located on each construction site in a conspicuous location.

Careless use or storage of flammable items will not be allowed.

Storage Areas

Storage areas shall be designated and fenced according to the approved "Construction Area Plan."

Material Deliveries

Construction staging will not be allowed in the road right-of-way.

Concrete Truck Procedures

Concrete trucks shall be cleaned on in designated areas.

Excavation

Excess excavation material shall be removed from VWS unless other arrangements have been made.

Noise, Dirt, & Dust Control

Every effort shall be made to control dust and noise. Radios and other amplified devices are limited to use within structures. Loud noises shall be limited to the hours stated previously.

It is the responsibility of the contractor to clean and maintain the roadway areas leading to and from the construction site.

All contractors will be responsible to prevent erosion and protect adjacent properties from storm water run-off impacts.

Behavior

- No pets are allowed on the construction site, in the residence or in vehicles.
- No changing of oil of any vehicle on the site.
- Discharge of firearms at VWS is prohibited.
- All construction employees will abide by the rules and regulations set by VWS.
- All VWS lot owners will be responsible for the conduct and behavior of their representatives, builders, and contractors.

Damage

- Damage done by contractors to any property, other than the owner's shall be promptly repaired at the expense of the contractor.
- Any common ground, adjacent lots or road improvements which are damaged during construction shall be promptly restored to their original condition and to a state which is satisfactory to VWS.
- All areas disturbed by construction shall be re-vegetated with a native seed mix. Seeded slopes steeper than 3:1 shall receive erosion control protection.

Application Fees

Fees are calculated per gross square footage of individual building areas, including storage, barn and outbuildings and mechanical areas.

Building Area Calculations: For purposes of building area calculations, measurements are to be taken from outside of exterior walls to outside of exterior walls.

APPLICATION FEE MATRIX

Above Ground Square Feet of Gross Floor Area	Fee
0 – 2,000 S.F.	\$250.00
2,000 – 3,500 S. F.	\$500.00

Minor Exterior Modifications	\$100.00
Modifications to Approved Plans	\$100.00
Substantial Exterior Modifications	\$250.00

- The application fee must be paid at the time of submittal
- All fees are payable to : Vista Development

Area 2:

Land Use Design Criteria

Bulk Standards:	Single Family Detached Lot width under 60'	Single Family Detached 60' or above	Single Family Attached
Garage Setback			
Front Yard	20'	25'	20'
Side Yard	5'	5'	5***
Alley	5'	20'	5'
Second Yard	18'	18'	18'
Livable Portion of the home			
Front Yard	10'	20'	15'
Rear Yard	20'	20'	15'
Side Yard	5'	5'	5***
Second Yard	10'	13'	10'
Minimum Lot Area	4,000 sf	6,000 sf	NA
Maximum Lot Coverage	60%	65%	65%
Minimum Street Frontage	30'	30'	30**
Maximum Building Height	35'	35'	35'
Non Residential Uses			
Front Yard	30'		
Rear Yard	30'		
Side Yard	25'		
Second Yard	15'		
Minimum Street Frontage	50'		
Maximum building Height	40'		
FAR	1.5		
Mimimum Lot Area	5,000 sq ft		
* All setbacks to be measured from the property line.			
** Average within any block			
*** Side setback only applies to the unattached portion of the structure.			

Driveways must be 30' or less frontage at the curb.

Driveways shall be made of cement, pavers or a combination of both. No asphalt is allowed.

This replaces page 16/PUD

Revision Date

10/13/2015

Walking Stick Vista

Planned Unit

Development

Variances

Variances may be granted by the Design Review Committee on a case by case basis, with the following exceptions, according to the Pueblo Zoning Requirements:

- Block 7 and 11 are required to have clay tile, synthetic clay tile or slate roofs. All other roofing materials will require a variance through the Zoning Board of Appeals, in accordance with Section 17-4-34 of the Pueblo Municipal Code. This process usually takes 4-6 weeks, and no guarantee is implied by applying for the variance.
- Building height of the midpoint of the roofline shall not exceed 35 feet for single family and multi-family homes, as defined on page 4.
- All fencing that connects to the Walking Stick Golf Course must have columns and open fencing consistent with the existing fencing of the golf course.

Changes to the Design Guidelines

The Design Guidelines are subject to enforcement by the Vistas at Walking Stick's Design Review Committee and the Vistas at Walking Stick's HOA, however changes to the guidelines must be approved through the City of Pueblo's Planning and Zoning Department.